



17

Planning Commission Staff Report

TO: PLANNING COMMISSION / DESIGN REVIEW BOARD

FROM: JOSH ROGERS, PLANNER II *JR*
(480) 503-6589, JOSH.ROGERS@GILBERTAZ.GOV

THROUGH: CATHERINE LORBEER, AICP, PRINCIPAL PLANNER *chl*
(480) 503-6016, CATHERINE.LORBEER@GILBERTAZ.GOV

MEETING DATE: APRIL 1, 2020

SUBJECT: DR19-201, SERVICE FIRST AUTOMOTIVE

STRATEGIC INITIATIVE: Prosperous Community

Develop a vehicle service facility on a vacant site.

RECOMMENDED MOTION

Approve the Findings of Fact and approve DR19-201 Service First Automotive: Site plan, landscaping, grading and drainage, elevations, floor plans, lighting, and colors and materials for approximately 1.27 acres, generally located north of the northwest corner of Power and Germann Roads, and zoned General Commercial (GC) with a Planned Area Development (PAD) overlay.

APPLICANT

Company: Hunter Development Group
Name: Wendy Hunter
Address: 8933 Wagner St.
Westminster, CO 80031
Phone: 214-733-0003
Email: whunter@hunterdevelopmentgroup.com

OWNER

Company: DBS Properties
Name: Gary Davidson
Address: 1110 E. Missouri Ave, Suite 700
Phoenix, AZ 85014
Phone: 480-429-3065
Email: dnewcombe@beusgilbert.com

BACKGROUND/DISCUSSION

History

Date	Description
<i>January 21, 2003</i>	Town Council approved Z02-21; adopting Ordinance No. 1450, an amendment to the Power Ranch Master Plan to codify and clarify previously approved ordinances and the subject site zoned C-2 General Commercial PAD overlay.
<i>March 3, 2005</i>	The Town Council adopted Ordinance No. 1625, a revised Zoning Map and Land Development Code (LDC), reclassifying the property to General Commercial (GC) with a Planned Area Development (PAD) overlay.

Overview

The proposed Service First Automotive Center is located on an approximately 1.3 acres lot in the northern portion of a commercial center at the northwest corner of Power and Germann Roads. The site is adjacent to the Dignity Health emergency room, EOS Fitness, and existing Public Storage Facility directly to the northwest of the subject site. The proposed building consists of 9,950 sq. ft. and associated site improvements to be developed in one phase.

Surrounding Land Use & Zoning Designations:

	Existing Land Use Classification	Existing Zoning	Existing Use
North	General Commercial (GC)	General Commercial (GC) PAD	Public Storage facility and vacant
South	General Commercial (GC)	General Commercial (GC) PAD	Dignity Health emergency room and vacant
East	General Commercial (GC)	General Commercial (GC) PAD	Power Road then existing commercial uses
West	General Commercial (GC)	General Commercial (GC) PAD	EOS Fitness
Site	General Commercial (GC)	General Commercial (GC) PAD	Vacant

Project Data Table

Site Development Regulations	Required per LDC – General Commercial (GC) PAD	Proposed
Maximum Height (ft.)/Stories	45'	45'
Min. Setback (Bldg./ Landscape) (ft.)		
Front (east)	25' / 25'	25' / 75'
Side (north)	Internal*	Internal*
Side (south)	Internal*	Internal*
Rear (west)	Internal*	Internal*

Landscaping (% of net lot area)	15%	19.6%
Off-Street Parking and Loading	Vehicular Parking: <i>Vehicle Services, Light</i> – 1 space per 100 sq. ft. of office and sales, 3 spaces per bay	<u>Office - 540 sq. ft./ 100 = 6 spaces</u> <u>13 Service Bays = 39 spaces</u> 45 spaces (provided)
Bicycle Parking	1 space per 10 vehicle spaces 5 bicycle spaces required	6 bicycle spaces provided

* May be reduced internal to site in conformance with LDC Section 2.304.E.

DISCUSSION

Site

The 1.3-acre subject pad site is within the existing commercial center at the northwest corner of Power Road and Germann Road, zoned General Commercial (GC) PAD and is currently undeveloped / vacant. The proposed pad development will be one phase and includes a 9,950 sq. ft. Service First Automotive Center, classified as *Vehicle Services, Light*. The proposed 1-story building will be located on the northern portion of the commercial center. Access to the subject site will be from shared drives within the commercial center from both Power Road and Germann Road. The proposed parking will be predominately located on the east portion of the site along Power Road, with some additional parking around the building on the western portion of the subject site.

Landscape

The proposed landscape plan includes adequate on-site and off-site perimeter landscaping as well as foundation landscaping. Parking islands are located throughout the customer parking areas. The landscape along Power Road was approved with EOS Fitness (DR19-40) and complies with the LDC requirements for street theme trees as well as landscape content and quantities. Additionally, significant amounts of foundation landscaping have been placed around most of the proposed building elevations.

The proposed onsite landscaping will meet the minimum requirement with nearly 20% and has been designed to complement the overall commercial center. The proposed plant palette consists of three (3) types of trees – Sisso Tree, Mulga, and Red Push Pistache. Additionally, the landscape plan utilizes shrubs and ground covers such as Blue Elf Aloe, Desert Spoon, Green Cloud Sage, Red Yucca, Purple Lantana, and Red Yucca. All plants will comply with the approved Arizona Department of Water Resources low-water use plant list.

Grading and Drainage

The primary source of retention for the site is through a combination of basins as well as underground storage in both the front and rear parking areas. The proposed grading and drainage plan generally meets the requirements of the Town of Gilbert's Engineering Division.

Elevations, Floor Plan, Colors and Materials

The building proposed is approximately 9,953 sq.ft., containing bays to service/park eleven (13) vehicles, as well as a waiting area, offices, customer service counter, play area, and restrooms. As designed, the L-shaped building will be a single-story structure with four-sided architecture.

Building architecture is proposed to be a contemporary theme consisting of building materials, colors, and design elements such as textural surfaces, active roofline, tower feature that is repeated on nearby structures and identifies the main building access. Primary material elements include integral colored stucco, wood tile, and brick veneer, as well as other wooden accent features and glazed bay windows. The Service First building is consistent with the organic hues and materials found on structures already in place and proposed (EoS Fitness, Dignity Health and Public Storage).

Lighting

There are three (3) various wall mounted LED lighting types proposed with two additional mounted lights proposed throughout the parking areas of the site, including a variety of single head and double head light poles with a mounting height of 25'. The photometric plans demonstrate that all lighting will comply with the LDC requirements of a maximum of 0.3 foot-candles at the property line.

Signage

Signage is not included in this approval. Administrative Design Review approval to amend the existing NWC Power and Germann CSP (DR13-23-S) for the site is required prior to submitting for sign permits for any wall or monument signage.

PUBLIC NOTIFICATION AND INPUT

An official notice was posted in all the required public places within the Town and neighborhood notice was provided per the requirements of the Land Development Code (LDC) Article 5.205.

Staff has received no comment from the public.

STAFF RECOMMENDATION

Approve the Findings of Fact and approve DR19-201 Service First Automotive: Site plan, landscaping, grading and drainage, elevations, floor plans, lighting, and colors and materials for approximately 1.27 acres, generally located north of the northwest corner of Power and Germann Roads, and zoned General Commercial (GC) with a Planned Area Development (PAD) overlay, subject to conditions:

1. Construction of the project shall conform to the exhibits approved by the Planning Commission at the April 1, 2020 public hearing.
2. The construction site plan documents shall incorporate the Standard Commercial and Industrial Site Plan Notes adopted by the Design Review Board on March 11, 2004.

3. Administrative Design Review approval to amend the existing NWC Power and Germann CSP (DR13-23-S) for the site may be required prior to submitting for sign permits for any wall or monument signage.
4. A Landscape Plan depicting the revised landscape planter, located along the western internal drive aisle, shall be submitted prior to submittal of construction documents.

Respectfully submitted,

A handwritten signature in black ink that reads "Joshua Rogers". The script is cursive and fluid, with the first name "Joshua" and last name "Rogers" clearly legible.

Josh Rogers
Planner II

Attachments and Enclosures:

- 1) Finding of Fact
- 2) Notice of Public Hearing/Vicinity Map
- 3) Site Plan
- 4) Landscape
- 5) Grading and Drainage
- 6) Colors and Materials
- 7) Elevations
- 8) Floor Plans
- 9) Lighting

**FINDINGS OF FACT
DR19-201, Service First Automotive**

1. The project as conditioned is consistent with the applicable Design Guidelines;
2. The project conforms to the General Plan, and specifically to the Land Use, Community Design, and Environmental Planning Elements;
3. The project is consistent with all applicable provisions of the Zoning Code;
4. The project is compatible with adjacent and nearby development; and
5. The project design provides for safe and efficient provisions of public services.

Notice of Public Hearing

DR19-201 Service First
Attachment 2: NOPH

PLANNING COMMISSION DATE:

Wednesday, April 1, 2020* TIME: 6:00 PM

**LOCATION: Gilbert Municipal Center
Council Chambers
50 E. Civic Center Dr.
Gilbert, AZ 85296**

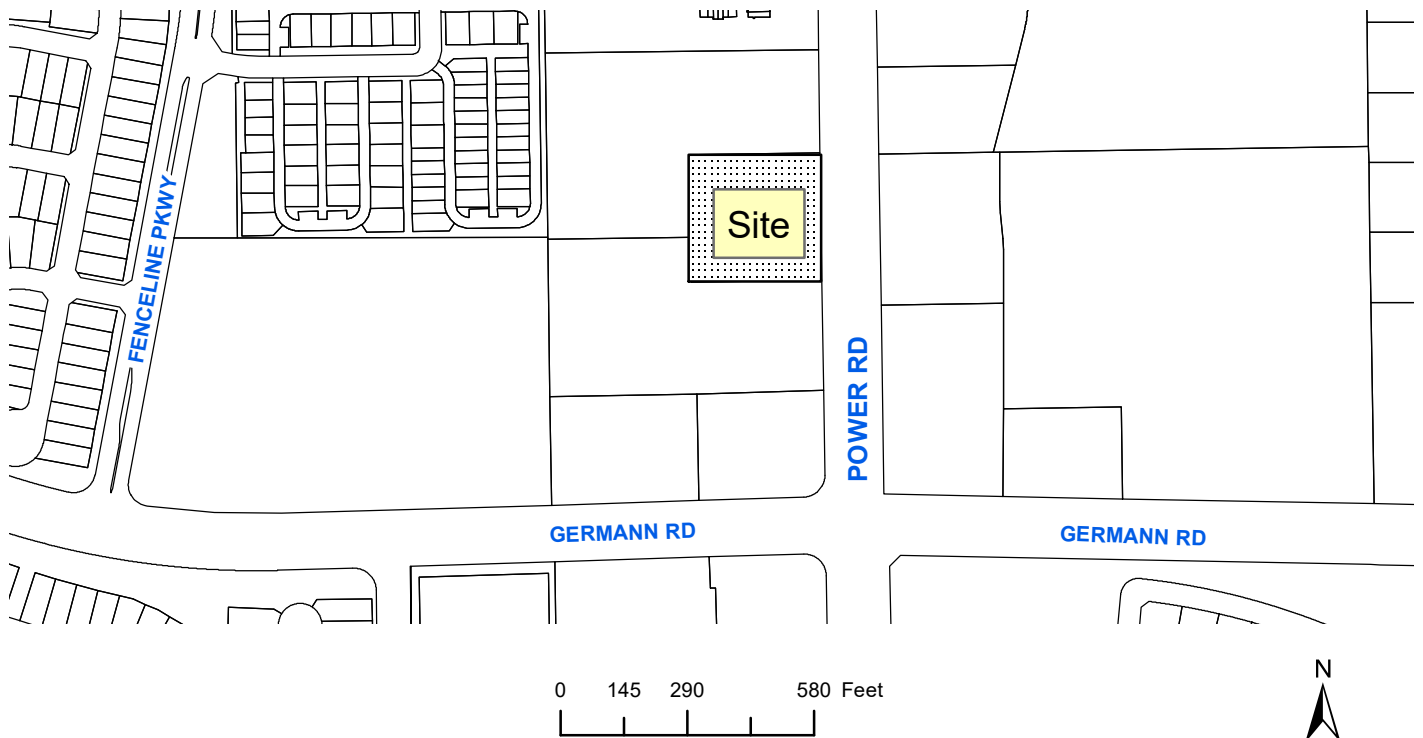
***Call Planning Division to verify date and time: (480) 503-6589**

* The application is available to the public for review at the Town of Gilbert Planning Division Monday - Thursday 7AM - 6PM. Staff reports are available prior to the meeting at www.gilbertaz.gov/departments/development-services/planning/planning-commission and www.gilbertdocs.com/gilbertagendaonline.

REQUESTED ACTION:

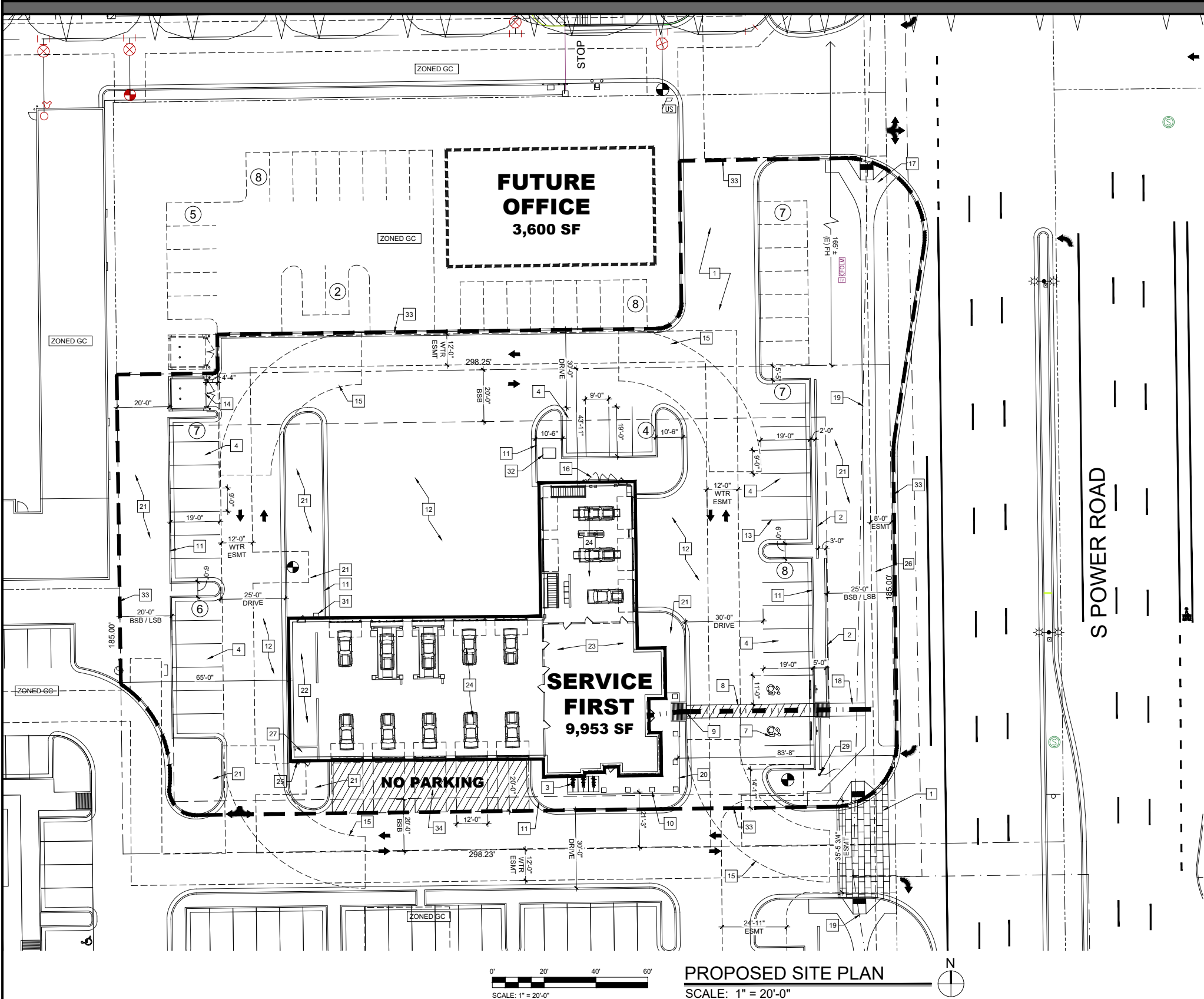
DR19-201 SERVICE FIRST AUTOMOTIVE CENTER: Site plan, landscaping, grading and drainage, elevations, floor plans, lighting, and colors and materials for approximately 1.27 acres, generally located north of the northwest corner of Power and Germann Roads, and zoned General Commercial with a Planned Area Development (PAD) overlay.

SITE LOCATION:



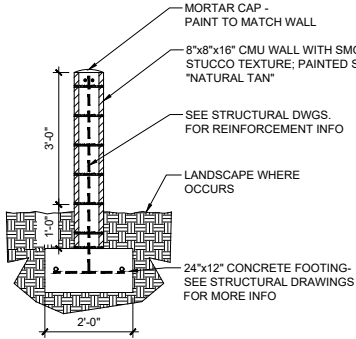
**APPLICANT: Hunter Development Group
CONTACT: Mark Huonder/Wendy Hunter
ADDRESS: 8933 Wagner St.
Westminster, CO 80031**

**TELEPHONE: (651) 357-5723/(214)-733-0003
E-MAIL: whunter@hunterdevelopmentgroup.com**

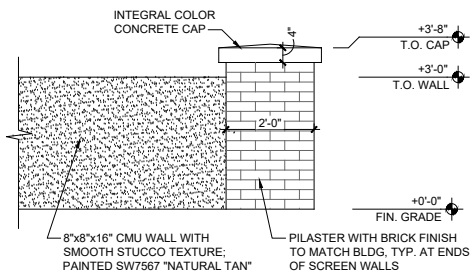


SITE KEY NOTES: #

1. PROPOSED ENTRY DRIVE
2. SCREEN WALL 3'-0" HIGH, TYP. SEE DETAIL 1
3. BICYCLE PARKING STALL 2'-0" X 6'-0", TYP.
4. PARKING STALL 9'-0" X 16'-6", TYP.
5. PARKING STALL 9'-0" X 19'-0", TYP.
6. NOT USED
7. ADA PARKING STALL 11'-0" X 19'-0", TYP.
8. ADA ACCESS AISLE 5'-0" X 19'-0", TYP.
9. ACCESSIBLE PATH / RAMP
10. BUILDING COLUMNS, TYP.
11. 6" CONCRETE CURB, TYP.
12. ASPHALT PAVING, TYP.
13. PARKING STRIPING, TYP.
14. TRASH ENCLOSURE MIN. 6'-0" HIGH SCREEN WALLS WITH GATES - PER TOG DETAIL NO. GIL-180 SINGLE REFUSE AREA
15. FIRE TRUCK TURNING RADIUS - 35' INSIDE / 55' OUTSIDE
16. PROPOSED SES - EXTERIOR RATED
17. EXISTING ENTRY DRIVE
18. PROPOSED SIDEWALK
19. SITE VISIBILITY TRIANGLE
20. CANOPY ABOVE SHOWN DASHED
21. PROPOSED LANDSCAPING
22. UTILITY AREA
23. OFFICE / SALES AREA
24. SERVICE STALLS
25. PROPOSED FDC LOCATION AT BUILDING WALL
26. PROPOSED PEDESTRIAN CONNECTIVITY TO ADJACENT FUTURE DEVELOPMENT TO THE NORTH
27. PROPOSED FIRE RISER ROOM (5'X10')
28. MONUMENT SIGN (UNDER SEPARATE PERMIT & SUBMITTAL)
29. FLAG POLE (UNDER SEPARATE PERMIT & SUBMITTAL)
30. NOT USED
31. GAS RISER
32. ELECTRICAL TRANSFORMER
33. LIMITS OF CONSTRUCTION
34. SOUTHERN BAYS TO BE ACCESSED BY EMPLOYEES ONLY - NO PARKING ALLOWED



1 SCREEN WALL SECTION
SCALE: 1/2" = 1'-0"



2 SCREEN WALL ELEVATION
SCALE: 1/2" = 1'-0"

LEGEND

- FIRE HYDRANT
- FIRE TRUCK TURNING RADII
- ACCESSIBLE PATH OF TRAVEL

PARCEL NUMBER:	304-87-923
EXISTING ZONING:	GC - GENERAL COMMERCIAL (PAD)
NET SITE:	55,283 SF / 1.27 AC
PROPOSED USE:	VEHICLE SERVICES, LIGHT
BUILDING AREA:	9,953 SF
LOT COVERAGE PERCENTAGE:	18% NET
TOTAL LANDSCAPE AREA:	10,777 SF
LANDSCAPE AREA PERCENTAGE (15% REQUIRED):	19.5% NET
LANDSCAPE SETBACKS:	
FRONT SETBACK REQUIRED:	25'-0"
FRONT SETBACK PROVIDED:	75'-5"
SIDE SETBACK REQUIRED:	20'-0"
SIDE SETBACK PROVIDED:	43'-11" & 21'-3"
REAR SETBACK REQUIRED:	20'-0"
REAR SETBACK PROVIDED:	73'-3"
PARKING REQUIRED:	
VEHICLE SERVICES, LIGHT: 3 SPACES PER SERVICE BAY PLUS 1 SPACE PER 100 SF OF OFFICE AND SALES AREA	
NUMBER OF BAYS:	13 BAYS = 39 SPACES
OFFICE AND SALES AREA:	540 SF = 6 SPACES
TOTAL PARKING REQUIRED:	45 SPACES
PARKING PROVIDED (INCLUDES 13 BAYS):	45 SPACES
PARKING RATIO:	4.52 SPACES / 1,000 SF
BICYCLE PARKING REQUIRED:	5 SPACES
BICYCLE PARKING PROVIDED:	6 SPACES
LOADING SPACES REQUIRED:	1 SPACE
LOADING SPACES PROVIDED:	1 SPACE

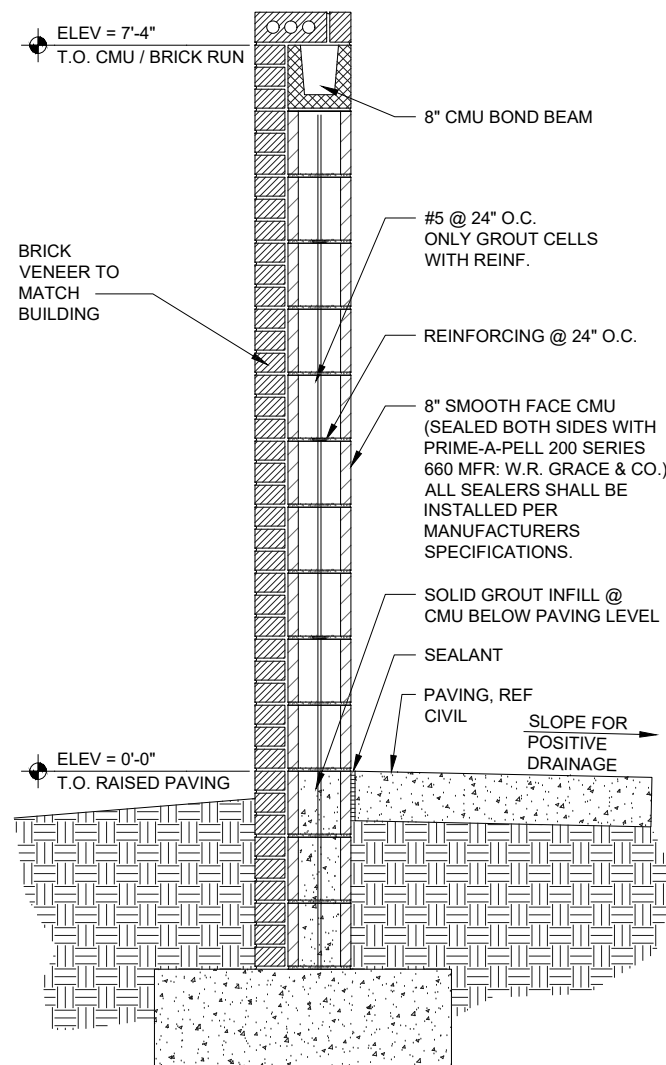
VICINITY MAP



PROJECT TEAM

ARCHITECT
VERTICAL DESIGN STUDIOS, LLC.
4650 EAST COTTON CENTER BLVD, SUITE 140
PHOENIX, ARIZONA 85040
PHONE: 602.393.5224
FAX: 602.395.1005
E-MAIL: jgregoris@verticaldesignstudios.com
CONTACT: Justin Gregoris

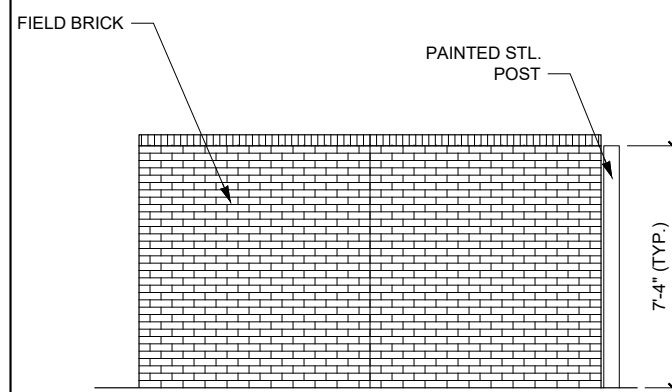
OWNER
CROSS DEVELOPMENT
4336 MARSH RIDGE ROAD
CARLTON, TX 75010
PHONE: 651.357.5723
FAX:
E-MAIL: markh@crossdevelopment.net
CONTACT: Mark Huonder



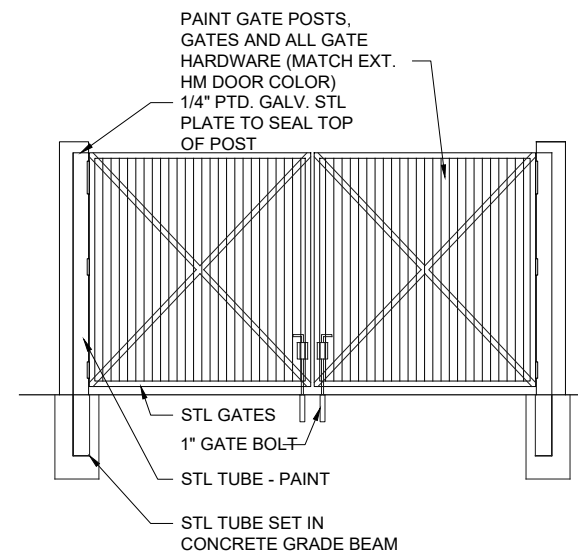
GENERAL NOTES:

1. TOP OF CONC. PAVING @ GATE & PERIM. TO BE 4" MIN, 6" MAX ABOVE SURROUNDING GRADE.
2. 4" CMU BLOCK CAN BE SUBSTITUTED IN PLACE OF SUB-GRADE BRICK VENEER.
3. STEM WALL CAN BE SUBSTITUTED IN PLACE OF SUB-GRADE CMU BLOCK. VERIFY WITH ARCH.

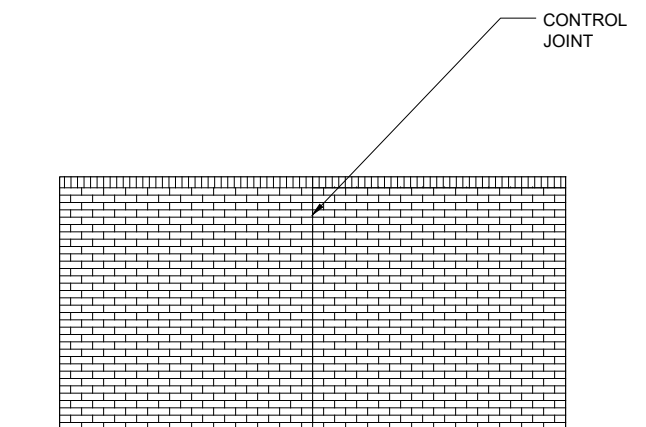
01 ENCLOSURE SECTION
SCALE: 3/4" = 1'-0"



02 ENCLOSURE ELEV.
SCALE: 1/4" = 1'-0"



03 ENCLOSURE ELEV.
SCALE: 1/4" = 1'-0"



04 ENCLOSURE ELEV.
SCALE: 1/4" = 1'-0"

SERVICE FIRST - GILBERT

project consultants

owner:
VERDAD REAL ESTATE & CONSTRUCTION SERVICES
3457 RINGSBY CT. #110
DENVER, CO 80216
PROJECT CONTACT: HERNDON LUCE
PHONE: 303.532.5156
EMAIL: HLuce@verdad.com
architect:
VERTICAL DESIGN STUDIOS, LLC
4650 EAST COTTON CENTER BLVD, SUITE 140
PHOENIX, ARIZONA 85040
PROJECT CONTACT: TRISH FLOWER
PHONE: 602.393.9353
EMAIL: tflower@verticaldesignstudios.com
landscape architect:
DESIGN ETHIC, LLC
7525 EAST 6TH AVENUE
SCOTTSDALE, ARIZONA 85251
PROJECT CONTACT: BRANDON PAUL
PHONE: 480.225.7077
EMAIL: bpaul@designethic.net

sheet index

SHEET	TITLE
L.01	COVER SHEET & NOTES

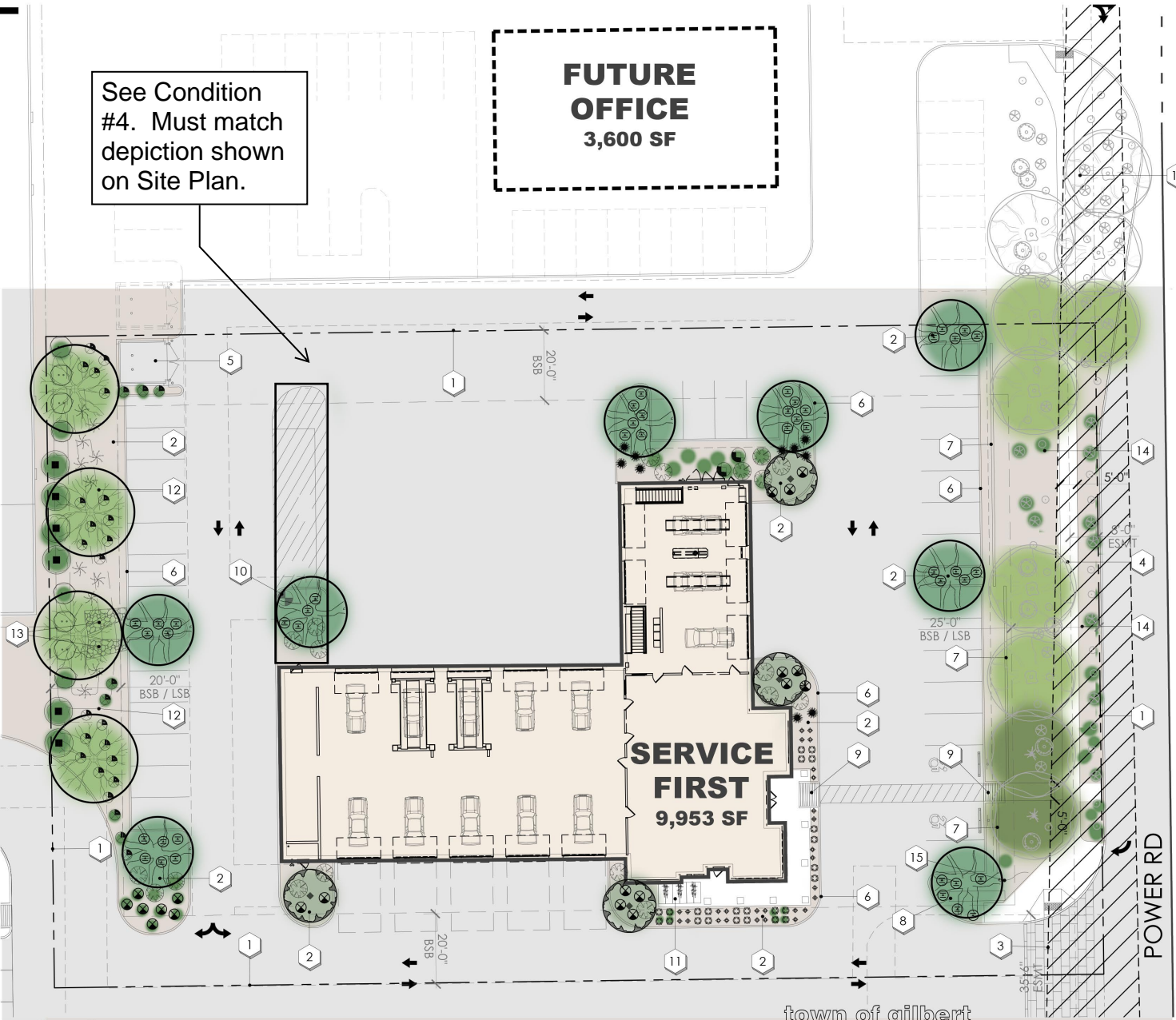
project data

NET SITE AREA:	55,175 SF (1.27 AC)
EXISTING ZONING:	GC - GENERAL COMMERCIAL
PROPOSED ZONING:	GC - GENERAL COMMERCIAL
BUILDING AREA:	9,953 SF
ON SITE LANDSCAPE AREA:	10,664 S.F.
OFF SITE LANDSCAPE AREA:	168 S.F.
NET TOTAL LANDSCAPE COVERAGE:	19.6%



vicinity map

CALL TWO WORKING DAYS
BEFORE YOU DIG
602-263-1100
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)



planting key notes

- 1 PROPERTY LINE / RIGHT OF WAY LINE
- 2 DECOMPOSED GRANITE IN ALL PLANTING AREAS
- 3 SITE VISIBILITY TRIANGLE, MAXIMUM MATURE PLANT MATERIAL HEIGHT IN THE SIGHT VISIBILITY TRIANGLES IS 24 INCHES
- 4 5'-0" SIDEWALK.
- 5 TRASH ENCLOSURE MIN. 6'-0" HIGH SCREEN WALLS WITH GATES - PER TOG DETAIL NO. GIL-180 SINGLE REFUSE AF
- 6 CURB. SEE CIVIL ENG. PLANS.
- 7 SCREEN WALL. SEE ARCHITECT'S SITE PLAN
- 8 ENTRY MONUMENT (UNDER SEPARATE PERMIT & SUBMIT
- 9 ACCESSIBLE RAMP. SEE CIVIL ENG. PLANS.
- 10 FIRE HYDRANT -3'-0" CLEAR OF ALL PLANT MATERIAL
- 11 BICYCLE PARKING
- 12 STORMWATER RETENTION. SEE CIVIL ENG. PLANS.
- 13 RIP RAP. SEE CIVIL ENG. PLANS.
- 14 FRONTAGE LANDSCAPE PER PREVIOUSLY APPROVED LANDSCAPE PLAN, CASE NO.: COMM-2019-00364
- 15 FLAG POLE (UNDER SEPARATE PERMIT & SUBMITTAL)

town of gilbert notes

1. A TOWN OF GILBERT PERMIT IS REQUIRED FOR THE INSTALLATION OF ANY LANDSCAPE OR IRRIGATION SYSTEM. IRRIGATION LINES MUST BE INSPECTED BEFORE BACKFILLING. A CD WITH PDF FORMAT "AS-BUILTS" OF THE LANDSCAPE AND IRRIGATION PLANS ARE ALSO REQUIRED.
2. BEFORE THE TOWN OF GILBERT WILL ACCEPT AN INSTALLED BACKFLOW DEVICE FOR APPROVAL, THE FOLLOWING MUST BE ACCOMPLISHED: THE DEVICE MUST BE TESTED BY A STATE CERTIFIED BACKFLOW TESTER AND THE TEST RESULTS FORWARDED TO THE TOWN OF GILBERT BACKFLOW SPECIALIST. THE TOWN WILL PROVIDE A CURRENT LIST OF CERTIFIED TESTERS FROM WHICH TO SELECT. TESTER FEES WILL BE AT THE EXPENSE OF THE INSTALLER.
3. DESIGN OF ANY WALLS, ENTRY MONUMENT SIGNAGE OR RAMADAS THAT MAY BE PRESENTED HEREIN HAVE BEEN REVIEWED AS CONCEPTUAL ONLY AND WILL REQUIRE A SEPARATE REVIEW AND PERMIT FROM THE BUILDING DEPARTMENT. IN NO CASE SHALL THE DEPICTED WALLS, ENTRY MONUMENT SIGNAGE OR RAMADAS BE CONSIDERED FINAL. APPROVAL BY THE PLANNING DEPARTMENT IS REQUIRED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR SAID WALLS, ENTRY MONUMENTS AND RAMADAS.
4. NO PLANT MATERIAL SHALL COME WITHIN 3 FEET OF FIRE HYDRANTS OR ANY FIRE DEPARTMENT EQUIPMENT.
5. NO PLANTING OR OBJECTS WITHIN THE TOWN OF GILBERT SIGHT VISIBILITY TRIANGLES SHALL EXCEED 2 FEET. TREES SHALL HAVE A 7 FEET MINIMUM CLEAR CANOPY.
6. ALL TREES, SHRUBS AND GROUNDCOVER SHALL MEET OR EXCEED ARIZONA NURSERY ASSOCIATION (ANA) SPECIFICATIONS.
7. CONSTRUCTION MAY BEGIN AFTER ALL PERMITS HAVE BEEN OBTAINED.

town of gilbert maintenance notes

1. ALL LANDSCAPE AREAS AND MATERIALS SHALL BE MAINTAINED IN A HEALTHY, NEAT, CLEAN AND WEED-FREE CONDITION. THIS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
2. CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THESE PLANS AND ANY DEVIATIONS WILL REQUIRE REAPPROVAL. LANDSCAPE INSTALLATIONS SHALL BE APPROVED BY TOWN OF GILBERT INSPECTION SERVICES BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.

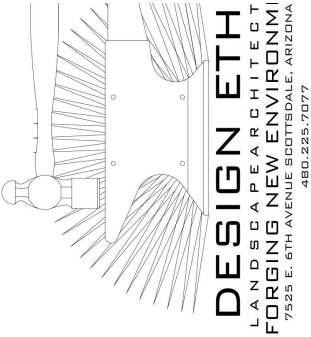
FRONTAGE LANDSCAPE NOT INSTALLED PER THIS PLANSET AND IS SHOWN FOR REFERENCE ONLY. SEE LANDSCAPE PLANS ASSOCIATED WITH CASENO.: COMM-2019-00364 FOR FRONTAGE LANDSCAPE

plant legend

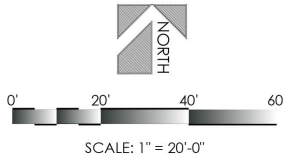
	botanical name common name	emitters	size	qty
trees				
	ACACIA ANEURA MULGA	(5 @ 1.0 GPH)	24" BOX	4
	TIPUANA TIPU TIPU TREE	(6 @ 1.0 GPH)	24" BOX	4
	PISTACIA X. RED PUSH RED PUSH PISTACHE	(5 @ 1.0 GPH)	24" BOX	8
shrubs				
	CORDIA PARVIFOLIA LITTLELEAF CORDIA	(1 @ 1.0 GPH)	5 GAL.	8
	EREMOPHILA SP. VALENTINE	(1 @ 1.0 GPH)	5 GAL.	2
	LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD' GREEN CLOUD SAGE	(1 @ 1.0 GPH)	5 GAL.	6
accents				
	ALOE X. BLUE ELF BLUE ELF ALOE	(1 @ 1.0 GPH)	5 GAL.	27
	DASYLIRON WHEELERI DESERT SPOON	(1 @ 1.0 GPH)	5 GAL.	19
	EUPHORBIA ANTISYPHILITICA CANDELLILLA	(1 @ 1.0 GPH)	5 GAL.	24
	HESPERALOE FUNIFERA GIANT HESPERALOE	(1 @ 1.0 GPH)	5 GAL.	12
	HESPERALOE PARVIFLORA BRAKELIGHTS® RED YUCCA	(1 @ 1.0 GPH)	5 GAL.	10
	MUHLBERGIA CAPILLARIS DWARF REGAL MIST	(1 @ 1.0 GPH)	5 GAL.	29
groundcover				
	LANTANA MONTEVIDENSIS PURPLE LANTANA	(1 @ 1.0 GPH)	1 GAL.	44
inerts				
	DECOMPOSED GRANITE EXPRESS BROWN		1/2" SCREEN	6,906 S.F.

frontage plant legend
(shown for reference only)

	botanical name common name	qty
trees		
	DALBERGIA SISSOO SISSOO TREE	2
	PROSOPIS SEEDLESS HYBRID 'AZITM' 'AZITM' SEEDLESS HYBRID MESQUITE	8
accents		
	MUHLBERGIA RIGENS DEER GRASS	9
groundcover		
	CONVOLVULUS CNEORUM BUSH MORNING GLORY	32
	GAZANIA RIGENS COPPER KING	40



VERTICAL
DESIGN STUDIOS
4650 E. Cotton Center Blvd. Ste. 130
Phoenix, Arizona 85040
Ph 602.395.1000 • Fax 602.395.1005



SERVICE FIRST
POWER RD & GERMANN RD
GILBERT, AZ 85379
COVER SHEET & NOTES

PROJECT:

JOB NO: 19-076
DATE:
DRAWN BY: B. PAUL
SUBMITTED: 02.06.2020
REVISED:

SHEET TITLE:

SHEET

L.01 of L.01

- Show preliminary retention calculations.

SERVICE FIRST
NWC POWER ROAD AND GERMANN ROAD
PRELIMINARY GRADING AND DRAINAGE PLAN
A PORTION OF THE SOUTHEAST QUARTER OF SECTION 1
TOWNSHIP 2 SOUTH, RANGE 6 EAST OF THE GILA
AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



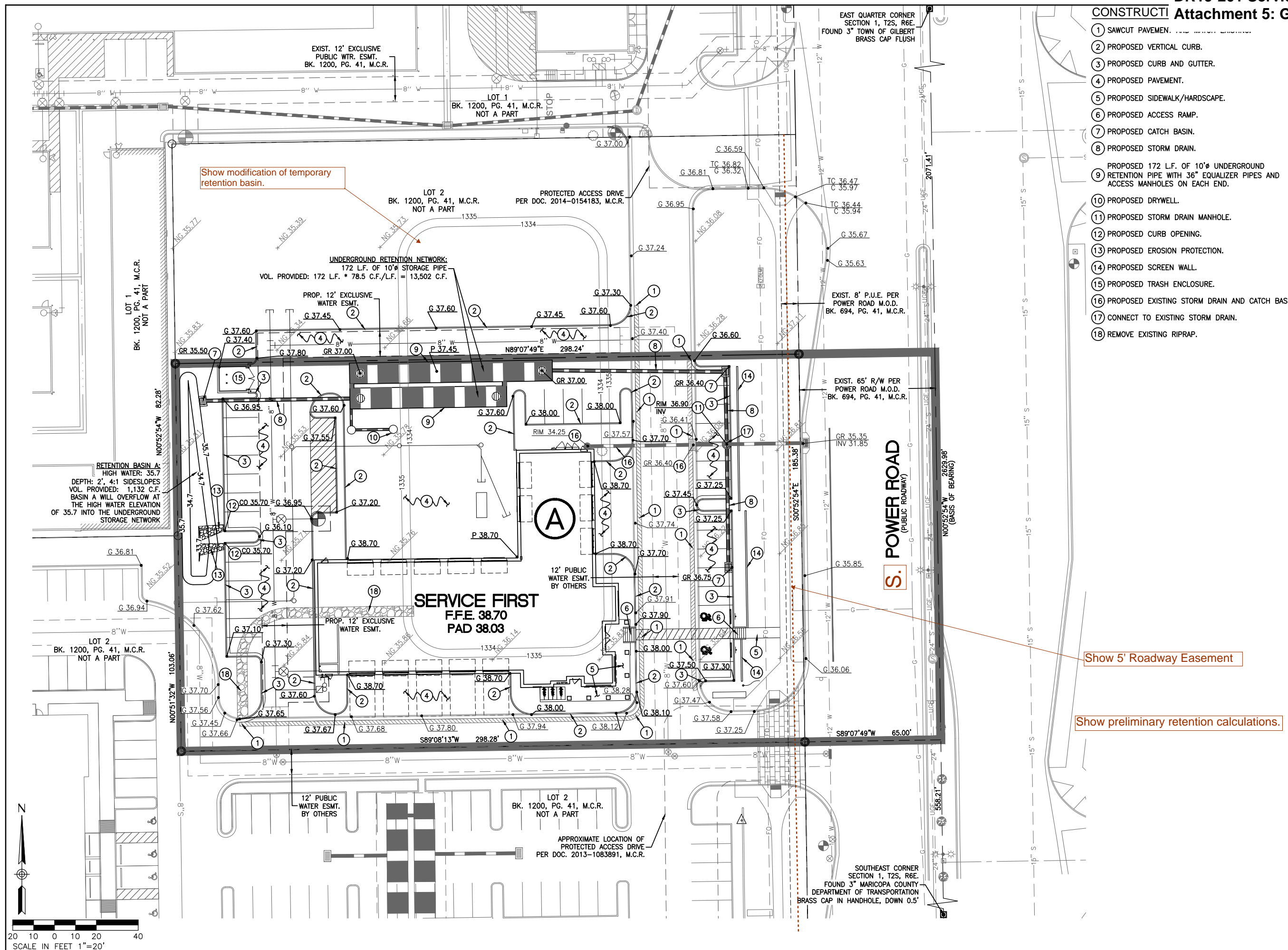
OPTIMUS
CIVIL DESIGN GROUP
4650 E. COTTON CENTER BLVD.
SUITE 200

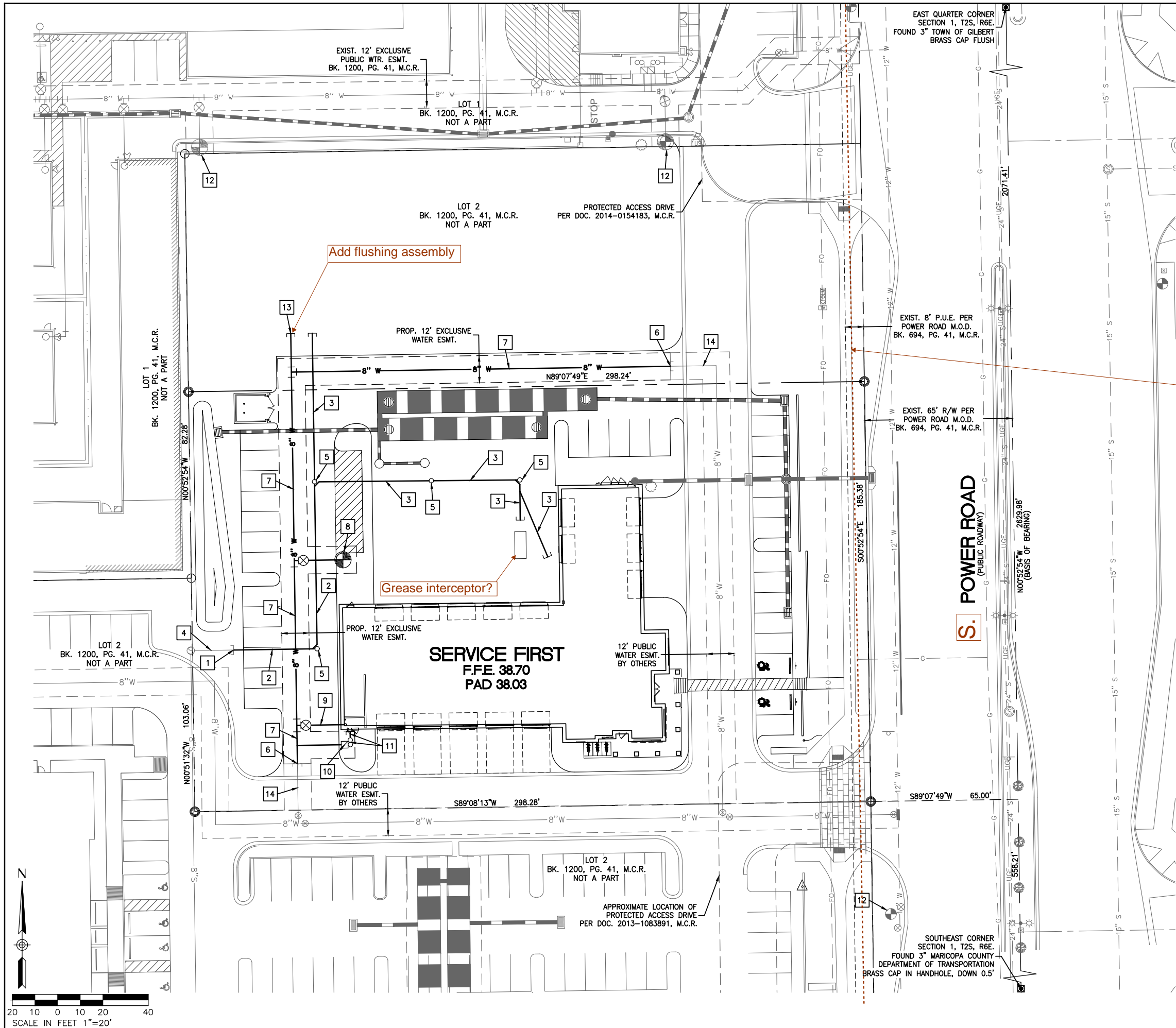
DESIGNED:	AJR
DRAWN:	JS
CHECKED:	JDB
DATE:	12/11/19
JOB NO.:	191323

DRAWING NO

C-2

2 OF **3**





UTILITY NOTES

- 1 CONNECT TO EXISTING SEWER STUB.
- 2 PROPOSED 8" SEWER MAIN.
- 3 PROPOSED 6" SEWER SERVICE
- 4 PROPOSED 8" SEWER STUB BY OTHERS.
- 5 PROPOSED CLEANOUT.
- 6 CONNECT TO EXISTING 8" WATER STUB.
- 7 PROPOSED 8" WATER MAIN.
- 8 PROPOSED FIRE HYDRANT.
- 9 PROPOSED 6" FIRE SERVICE.
- 10 PROPOSED DOMESTIC WATER METER.
- 11 PROPOSED BACKFLOW AND WATER SERVICE.
- 12 EXISTING FIRE HYDRANT.
- 13 PROPOSED 8" WATER STUB.
- 14 PROPOSED 8" WATER STUB BY OTHERS.

Show 5' Roadway Easement

SERVICE FIRST

NWC POWER ROAD AND GERMANN ROAD

PRELIMINARY UTILITY PLAN

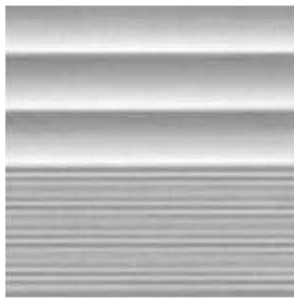
A PORTION OF THE SOUTHEAST QUARTER OF SECTION 1
TOWNSHIP 2 SOUTH, RANGE 6 EAST OF THE GILA
AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



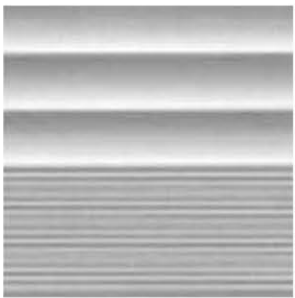
DESIGNED: AJR
DRAWN: JS
CHECKED: JDB
DATE: 12/11/19
JOB NO.: 191323

DRAWING NO
C-3
3 OF 3

USE OF THE INFORMATION CONTAINED IN THIS INSTRUMENT FOR OTHER THAN THE SPECIFIC PURPOSE FOR WHICH IT WAS INTENDED AND FOR OTHER THAN THE CLIENT FOR WHOM IT WAS PREPARED IS FORBIDDEN UNLESS EXPRESSLY PERMITTED IN WRITING IN ADVANCE BY OPTIMUS CIVIL DESIGN GROUP. OPTIMUS CIVIL DESIGN GROUP SHALL HAVE NO LIABILITY TO ANY USE OF THIS INFORMATION WITHOUT THEIR WRITTEN CONSENT.



A
KAWNEER
"Clear Anodized Aluminum"



B
LOXCREEN
"Satin Clear Anodized Aluminum"



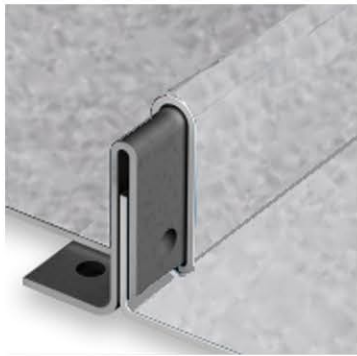
C
CARDINAL (or Equal)
"Cardinal Red"



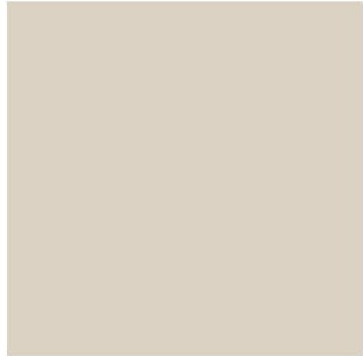
D
EMSER TILE
"Theory Chestnut"



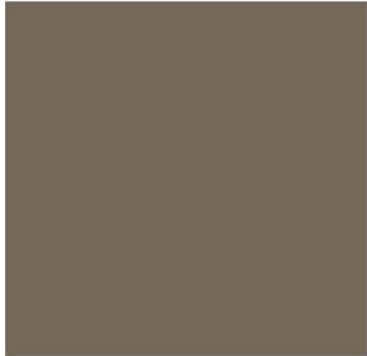
E
COMMERCIAL BRICK CO.
"Blend 22"



F
PEMB
"Galvalum"



G
SHERWIN WILLIAMS
7567
"Natural Tan"



H
SHERWIN WILLIAMS
7033
"Brainstorm Bronze"



I
SHERWIN WILLIAMS
6258
"Tricorn Black"



J
BEHR
ST105
"Padre Brown Semi"

ELEVATION GENERAL NOTES

- A. GC TO COORDINATE FINISH GRADE AND FINISH FLOOR ELEVATION WITH CIVIL DRAWINGS.
B. ALL BUILDING MOUNTED SIGNS AND ALL SITE SIGNS SHALL BE SUBMITTED UNDER SEPARATE PERMIT.

MATERIAL SCHEDULE

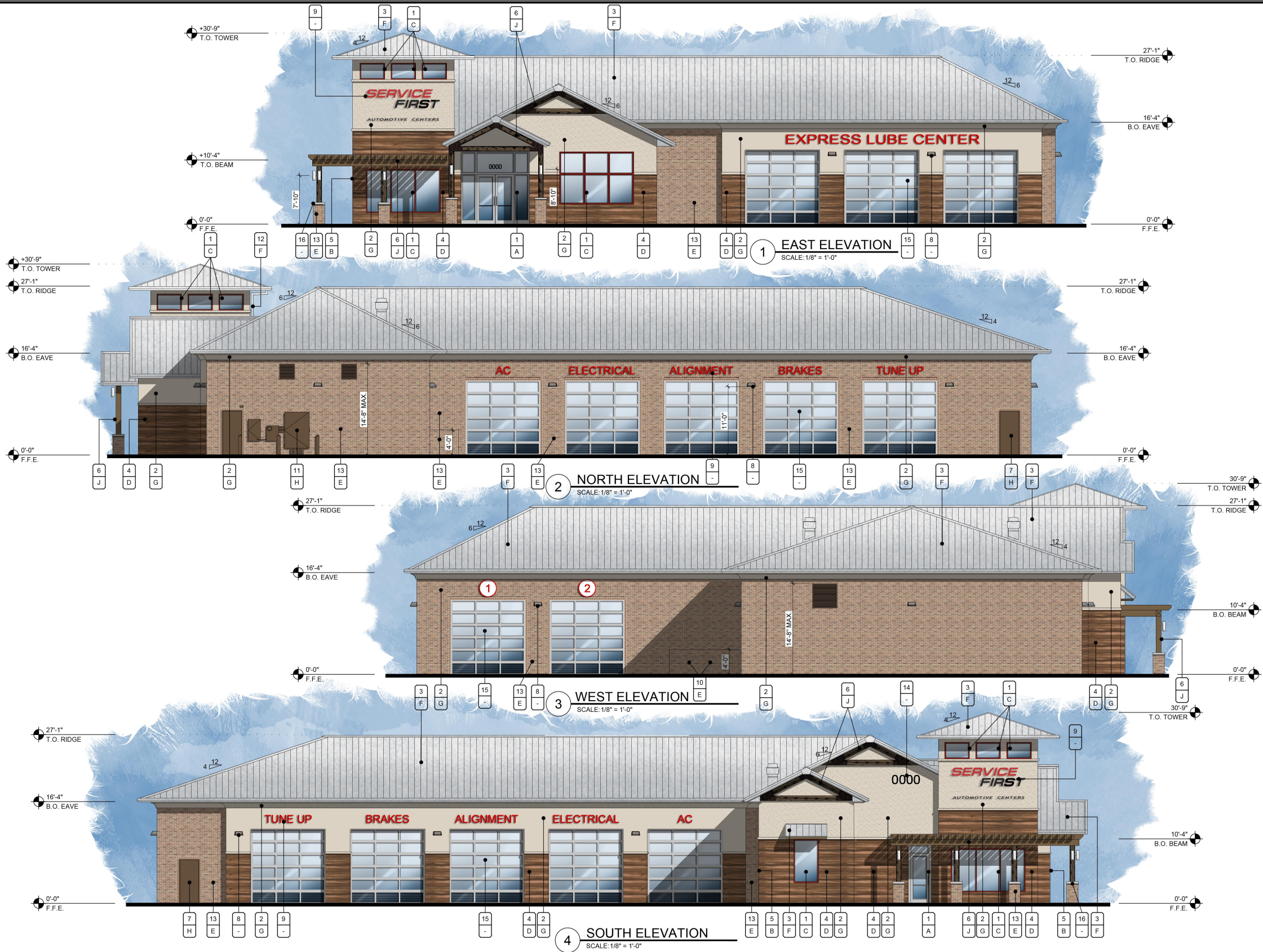
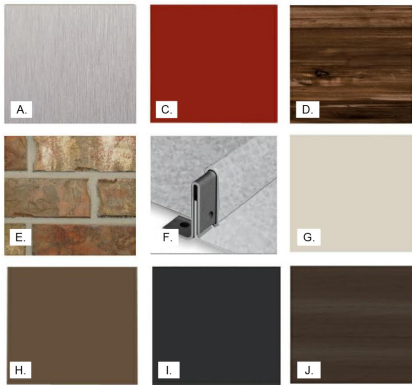
MATERIALS

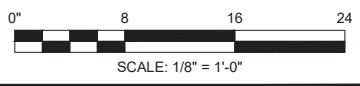
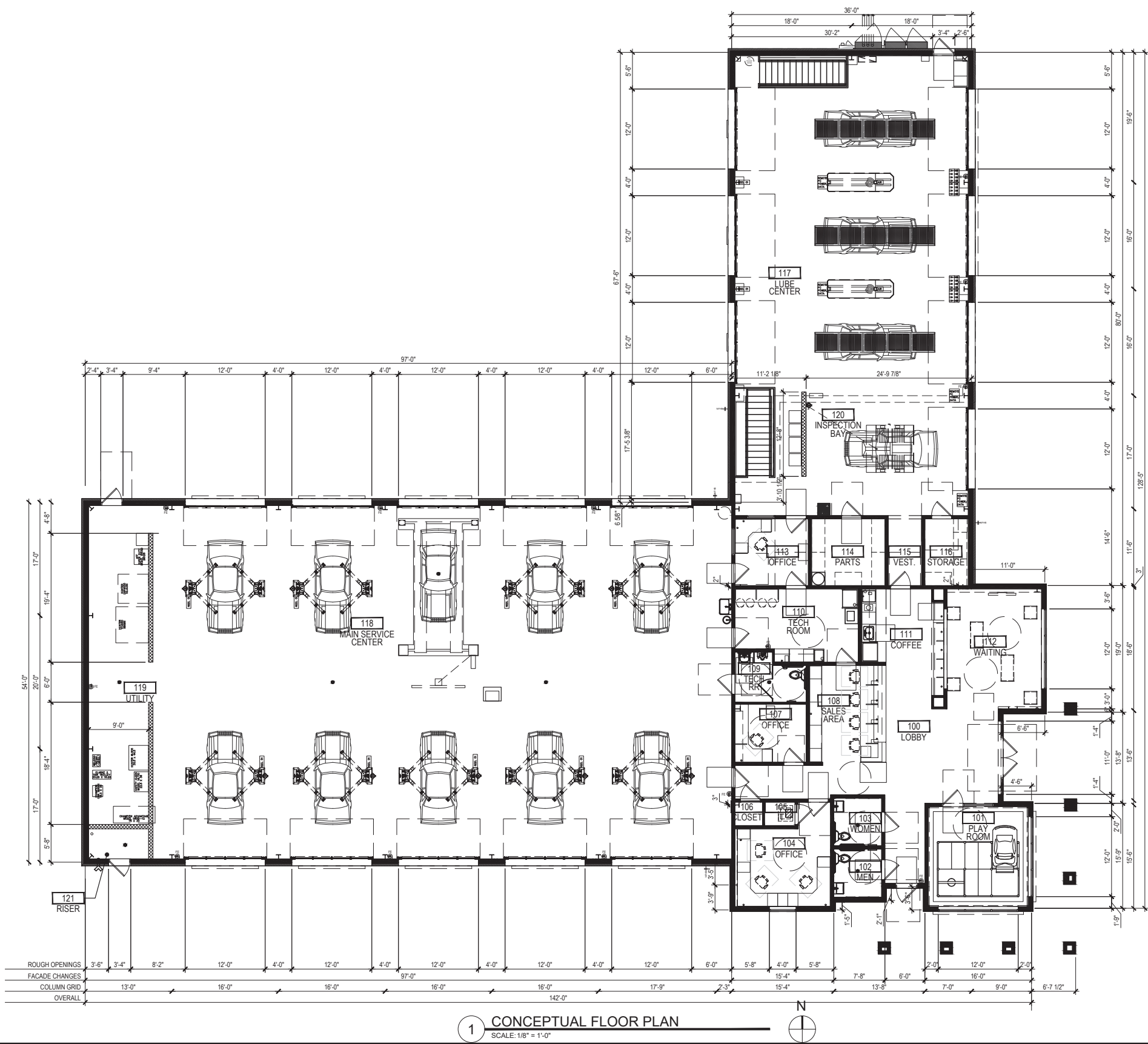
1. CLEAR ANODIZED ALUMINUM FRAME WITH 1" CLEAR LOW-E INSULATED GLAZING
2. STUCCO FINISH
3. STANDING SEAM ROOF
4. WOOD TILE
5. EXTERIOR TRIM PIECE FOR CORNERS
6. WOOD TO BE STAINED
7. HOLLOW METAL DOOR AND FRAME
8. LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS
9. FUTURE TENANT SIGNAGE UNDER SEPARATE PERMIT AND SUBMITTAL
10. SCREENED MECHANICAL UNITS
11. ELECTRICAL EQUIPMENT LOCATION
12. NOT USED
13. MODULAR BRICK VENEER
14. BUILDING ADDRESS - GC TO VERIFY LOCATION AND SIZE REQUIREMENTS WITH TOWN OF GILBERT
15. 1" INSULATED LOW "E" GLAZING
16. STUCCO COLUMN CAP, TYP.

COLOR SCHEDULE

COLORS

- by Kawneer (or Equal):
A. "Clear Anodized Aluminum"
- by Loxscreen (or Equal):
B. "Satin Clear Anodized Aluminum"
- by Cardinal (or Equal):
C. "Cardinal Red Aluminum"
- by Emser:
D. Theory Chesnut w/GR4 #35 Mocha Grout
- by Commercial Brick Co.:
E. Blend 22-Builders Special Size
- by PEMB Manufacturer:
F. "Galvalum"
- by Sherwin Williams (or Equal):
G. SW7567 "Natural Tan"
H. SW7033 "Brainstorm Bronze"
I. SW6258 "Tricorn Black"
- by Behr (or Equal):
J. ST105 "Padre Brown Semi"
- MATERIAL #
FINISH X

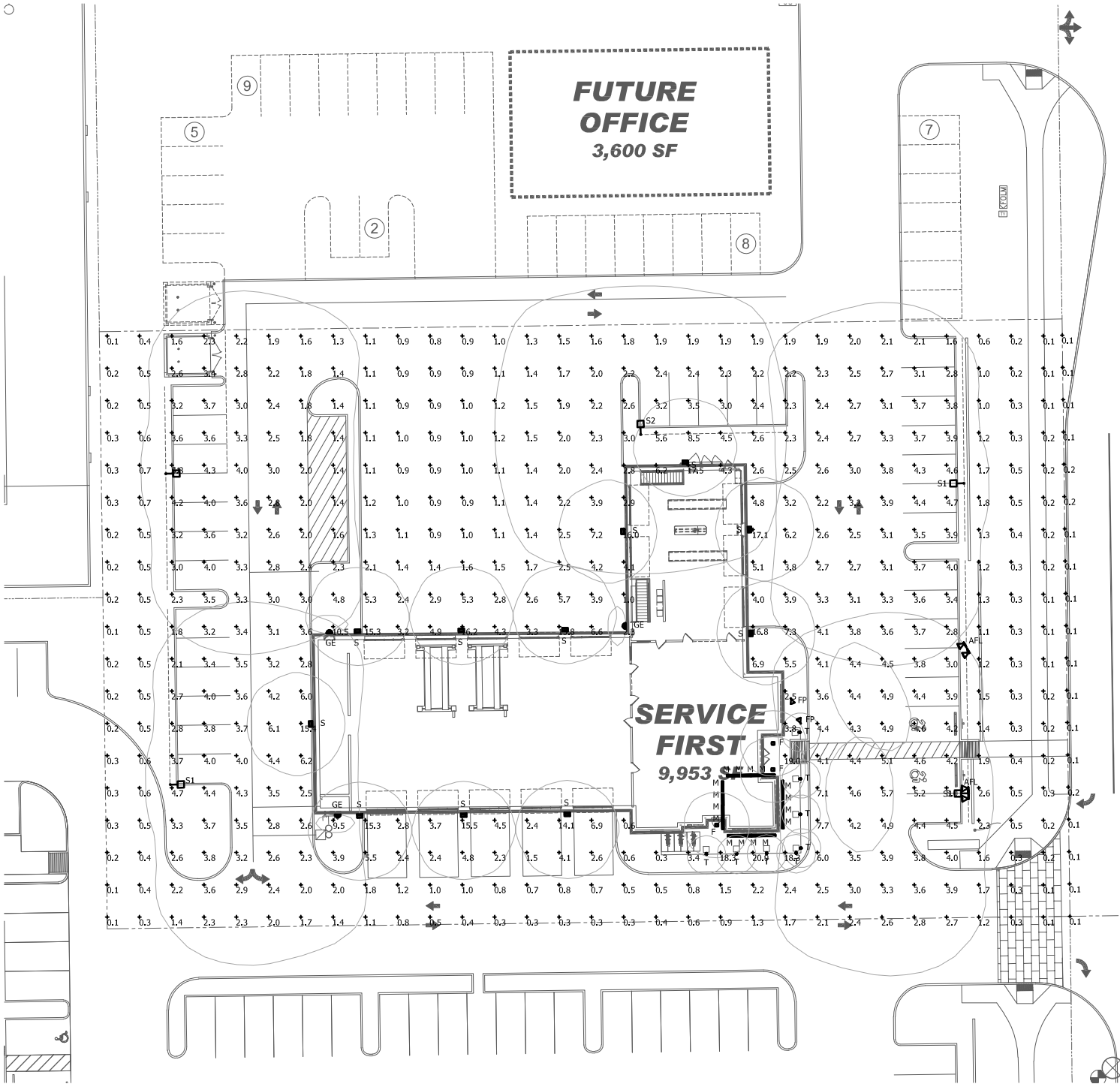




SERVICE FIRST
7494 SOUTH POWER ROAD
GILBERT, AZ
12.11.2019
PROJECT 19125.00



4650 E. Cotton Center Boulevard Phoenix, AZ 85040
602.395.1000 www.verticaldesignstudios.com



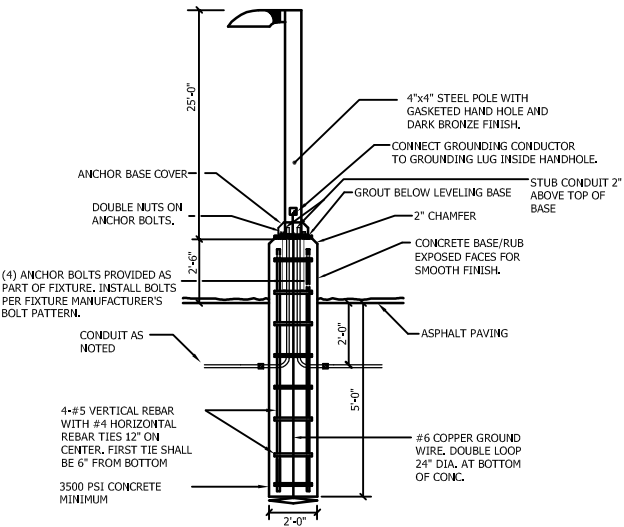
PROPOSED SITE PLAN

SCALE: 1" = 20'-0"



Luminaire Schedule						
Symbol	Label	Description	Arrangement	Lum. Watts	Arr. Watts	Lum. Lumens
	AFL	RAB FFLED80 - 25 FOOT POLE	TWIN	88.8	177.6	9753
	F	CONTECH R45QNC630K12DW+CST432ZLSQ-CLR (LLF ADJUSTED FOR LOWER LUMEN PACKAGE) - UNDER CANOPY	SINGLE	45.8	45.8	3569
	FP	LUMARK NFFLD-L-C75-D-UM-33 - GRADE MTD	SINGLE	236	236	24917
	GE	SURE-LITES AEL2 - WALL +8 FOOT	SINGLE	4.9	4.9	225
	M	JESCO WW2-HW-S48-120-WW-20-SV - MTD UNDER CANOPY	SINGLE	39.5	39.5	2600
	S	LUMARK XTOR4B - WALL +11 FOOT	SINGLE	37.7	37.7	4269
	S1	McGRAW-EDISON GLEON-AF-04-LED-E1-SL4 - 25 FOOT POLE	SINGLE	225	225	23340
	S2	McGRAW-EDISON GLEON-AF-04-LED-E1-SWQ - 25 FOOT POLE	SINGLE	225	225	25871
	T	ATLANTIC 4VUDWL-2581035-2581035 - WALL +8 FOOT	SINGLE	20	20	1396

Calculation Summary									
Label	Description	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
Overall Site	Horizontal at Grade	Illuminance	Fc	2.85	20.9	0.1	28.50	209.00	
Property Line	Horizontal at Grade	Illuminance	Fc	0.12	0.2	0.1	1.20	2.00	



POLE BASE DETAIL
N.T.S.

DESCRIPTION
The Sure-Lite Architectural Emergency Light is designed to provide superior illumination while blending into the surrounding space. The housing is constructed of die-cast aluminum with an integral reflective polycarbonate lens and advanced optical design, which in conjunction with energy-efficient, long-lasting LEDs provides maximum path of egress lighting performance. The Sure-Lite Architectural Emergency Light is wet listed for temperatures between -30°F and 50°F (-22°F and 122°F). AEL has an always-on mode and is available with Eagle Eye self diagnostics.

SPECIFICATION FEATURES

Electrical
• Universal voltage input from 100 through 200 VAC, 50-60 Hz
• Line-latching
• Solid-state Voltage Limited Charger
• Low-Voltage Disconnect
• Overload/Short Circuit Protection
• Test Switch/Power Indicator Light
• Fully Recharged in 24 hours
• Self diagnostics

Housing Construction
• Die-cast Aluminum Housing
• Universal Pattern Knockouts on rear of housing for direct mounting to junction box
• 12" Threaded Conduit Access on top surface
• Powder Coat Paint Finish
• UV Stable Polycarbonate Lens
• Silicone Gaskets

Battery
• Sealed Nickel Cadmium
• Maintenance Free, long life
• Full Recharge Time, 24 hrs

Code Compliance
• Not for sale in California
• UL204 Listed
• UL Outdoor Wet Location Listed (suitable for wet and damp locations)
• Life Safety NFPA 101
• NEC/OSHA
• Most State and Local Codes
• City of Chicago Code
• New York City Code

Warranty
• Unit: 5 Year
• Battery: 7 year pro-rata

Lamp Data
• 10 High Power LEDs
• Two color temperatures: 3000K and 5000K

Sure-Lites

AEL 2 ARCHITECTURAL EMERGENCY LIGHT SERIES 2

DIE-CAST ALUMINUM SURFACE MOUNT
SEALED NICKEL CADMIUM BATTERY
LED LAMPS
EAGLE EYE SELF DIAGNOSTICS
ALWAYS ON FEATURE
EMERGENCY LIGHTING



ORDERING INFORMATION

Family	Color Temperature	Housing Finish	Options
AEL2 - Architectural Emergency Light 2	3000K or 5000K	White or Black	• No Self Diagnostics • No Eagle Eye Self Diagnostics



TECHNICAL DATA

Lamps
The AEL2 utilizes long-lasting LEDs (standards) which provide maximum illumination along the emergency path of egress.

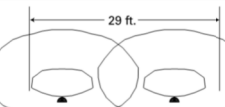
Housing
Die-cast aluminum with a powder coat painted finish. Universal pattern knockouts are located on the back housing for direct mounting to the junction box. Threaded conduit entry provided on the top surface of the housing. UV stable, polycarbonate lens and vacuum-metallized reflector provide efficient optical control.

Electronics
Dual voltage input 120/277 VAC is standard. Nickel cadmium battery is standard. All battery and electrical components are enclosed within the housing.

Line-Latched
Sure-Lite line-latched electronic circuitry makes installation easy and economical. A labor efficient AC activated load switch prevents the lamps from turning on during installation to a non-energized AC circuit. Line-latching eliminates the need for a contractor's return to a job site to connect the batteries when the building's main power is turned on.

Self-Diagnostics
The self-diagnostic software will automatically perform all tests required by UL204, and NFPA101. The system indicates the status of the emergency light at all times using the LED indicator. A 30 minute battery power (emergency mode) simulation test will occur once every 12 months. A 30 second battery power simulation test will occur every 30 days.

PHOTOMETRICS



The Solid-State microprocessor based system has the ability to accurately detect and warn of system failures, plus it incorporates all of the standard electronic features that sets Sure-Lite apart from its competition. Eagle Eye self diagnostic software automatically performs all testing required by the NFPA 101 Life Safety Code and systematically calibrates itself in the field, reducing installation labor and eliminating manual calibration errors.

Solid-State Charger
Supplied with a 120/277 VAC, voltage regulated solid-state charger, the battery is recharged immediately upon restoration of AC current after a power failure. The charger circuit reacts to the condition of the battery in order to maintain peak battery capacity and maximize battery life. Solid-state construction recharges the battery in 24 hours following a power failure in accordance with UL 204.

Solid-State Transfer
The emergency light incorporates solid-state switching which eliminates corroded and pitted contacts or mechanical failures associated with relays. The switching circuit is designed to detect a loss of AC voltage and automatically energizes the lamps using DC power. Upon restoration of AC power, the DC power will be disconnected and the charger will automatically recharge the battery.

Low-Voltage Disconnect
When the battery's terminal voltage falls, the low-voltage circuitry disconnects the lighting load. The disconnect remains in effect until normal utility power is restored, preventing deep battery discharge.

Overload and Short Circuit Protection
The solid-state overload monitoring device in the DC circuit disconnects the lamp load from the battery should excessive wattage demands be made and automatically resets when the overload or short circuit is removed. This overload current protective feature eliminates the need for fuses or circuit breakers for the DC load.

Test Switch/Power Indicator Light
A test switch located on the inside cover of the unit permits the activation of the emergency circuit for a complete operational systems check. The Power Indicator Light provides visual assurance that the AC power is on.

Sealed Nickel Cadmium Battery
Sure-Lite sealed nickel cadmium batteries are maintenance-free with a life expectancy of 15 years. The sealed rechargeable nickel cadmium battery offers high discharge rates and stable performance over a wide range of temperatures. The specially designed resealable vent automatically controls cell pressure, assuring safety and reliability. This battery is best suited for harsh ambient temperatures because the electrolyte is not active in the electrochemical process.

Warranty
The Sure-Lite Architectural Emergency Light is backed by a five-year (5) year warranty against defects in material and workmanship. Maintenance-free, long-life, sealed nickel cadmium batteries carry a seven-year pro-rata warranty.

AEL2 ARCHITECTURAL EMERGENCY LIGHT SERIES 2

TDS00467N
October 5, 2018 9:29 AM



WW2-HW-S
OUTDOOR LIGHTING
LED WALL WASHERS

Type	M
Project	
Catalog No.	



DESCRIPTION

The WW2-HW-S is the next generation of wall washer series engineered with increased performance, efficiency, light output and more control options. The WW2-HW series is suitable for outdoor wall washing applications and can be controlled independently without a DMX controller for simple colors and color changing effects. CMX control is optional for more advanced lighting programming and specific colors. The fixture works in 120V or 277V AC hardware applications.

FEATURES

- c-ETL-on listed for outdoor use
- Line voltage with 50 inch leads for hardware installation
- Built-in controller features simple colors and color changing effects, step dimming, master and slave control - see Control Functions
- DMX control optional
- Includes mounting hardware that positions anywhere along the fixture
- Complete line of DMX accessories to meet all design and wiring layouts
- Impact and heat resistant tempered glass

SPECIFICATIONS

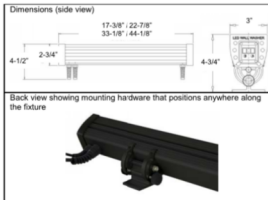
Input Voltage	120-240V/277V AC
CRI	80+
Beam Angle	10°/20°/45°
Lamp Life	50,000 hours
Fixture Rotation	150°
Mounting	Mounting Brackets included
Control	Simple built-in controller standard, optional external DMX controller available
DMX Connector	IP68 DMX with 18 inch cable
Max DMX connections	30 fixtures or 180 feet
Operating Temperature	-4°F to 104°F
Weight	13 lbs max
Environment	IP68, Wet, Damp, or Dry
Certifications	ETL
Warranty	5 Years - see published warranty terms for detailed information.

* DMX signal amplifier is required every 30 fixtures or 180 feet (recommended), 400 feet max if no signal interference.

† Exceeding the operating temperature values may damage the LEDs by reducing the lifespan, lumen output, and/or adversely impact color consistency. It is recommended adequate airflow and heat sinking be taken into consideration in the installation and application of the product. Improper thermal management may lead to premature product failure and void the warranty. Not recommended.

FIXTURE DATA

Part Number	Length	LED Qty	Watts (max)	Color	Lumen (lm)	Efficacy
WW2-HW-S18	17-3/8"	12	15	WW	961	64
				NW	1128	75
				RGB	621	28
WW2-HW-S24	22-7/8"	18	20	WW	1429	79
				NW	1645	92
				RGB	621	19
WW2-HW-S36	33-1/8"	24	30	WW	1941	81
				NW	2173	72
				RGB	843	28
				WW	2627	66
WW2-HW-S48	44-1/8"	36	40	WW	2647	77
				RGB	1166	29



JESCO LIGHTING GROUP
www.jescolighting.com
support@jescolighting.com
Tech Support: 855.592.0029

18 Harbor Park Drive
Port Washington, NY 11050
Main Line: 609.527.7796
Fax Line: 855.265.0768

219 South 6th Ave
City of Industry, CA 91746
Main Line: 626.333.3661
Fax Line: 626.333.2955

11/23/2016



WW2-HW-S
OUTDOOR LIGHTING
LED WALL WASHERS

Type	M
Project	
Catalog No.	

ORDERING INFORMATION

SERIES	LENGTH	VOLTAGE	COLOR	BEAM ANGLE	Finish
WW2-HW-S	18-17-3/8"	120-120-240V	WW- Warm White	10-10°	BK- Black
	24-22-7/8"	277-277V	NW- Neutral White	20-20°	SV- Silver
	36-33-1/8"		CR- Cool White	45-45°	WH- White
	48-44-1/8"		RGB- Red, Green, Blue		

Example: WW2-HW-S24-120-20-BK
Warm White: 2850-3500K, Neutral White: 4100 - 4500K, Cool White: 6300-7000K

Independent Mode (Built-in controller - No DMX controller required)

1. Press B to activate the built-in controller. The digital screen will read "PXY" where X and Y represent a number or letter. See chart below.
2. Press A to select either parameter "X" or parameter "Y".
3. Press B once the parameter has been selected to increase the value from 1 to 9.
4. Wait 10 seconds for the "PXY" display to stop flashing and for the data to be recorded.



Master/Slave Mode:

Program the first fixture as above. Set Master fixture to address 001. Set Slave fixtures to anything except 001.

X	RGB	WW or NW (# of channels)	Y value
1	Red	Single channel of white	1 to 9: Brightness
2	Green	Single channel of white	1 to 9: Brightness
3	Yellow	Two channels of white	1 to 9: Brightness
4	Blue	Single channel of white	1 to 9: Brightness
5	Purple	Two channels of white	1 to 9: Brightness
6	Cyan	Two channels of white	1 to 9: Brightness
7	Cool White	Full on	1 to 9: Brightness
8	Slow Flash (Red, Green, Yellow, Blue, Purple, Cyan, Cool White)	Slow Flash (1-1-2-1-2-2-3)	1 to 9: Speed
9	Fade (Yellow, Red, Green, Cyan, Blue, Purple, Cool White)	Fade Pulse (2-1-1-2-1-2-3)	1 to 9: Speed
A	Multicolor Fade (Cyan, Cool White, Orange, Purple)	Rolling / Wave	1 to 9: Speed
B	Fast Flash (Red, Green, Yellow, Blue, Purple, Cyan, Cool White)	Fast Flash (1-1-2-1-2-2-3)	1 to 9: Speed
C	Cycles through programs 8 to B	Cycles through programs 8 to B	1 to 9: Cycle

CONTROL FUNCTIONS

DMX Mode - DMX controller required

Press A to activate DMX mode. Press A again to change selected position. Press B to increase the value and set the starting channel. Each fixture has 3 channels.

DMX Address	Set fixture to	DMX Address	Set fixture to	DMX Address	Set fixture to
1	001	8	022	15	043
2	004	9	025	16	046
3	007	10	028	17	049
4	010	11	031	18	052
5	013	12	034	19	055
6	016	13	037	20	058
7	019	14	040	21	061

Consult factory for additional DMX addresses.

JESCO LIGHTING GROUP
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support@jescolighting.com
Tech Support: 855.592.0029

18 Harbor Park Drive
Port Washington, NY 11050
Main Line: 609.527.7796
Fax Line: 855.265.0768

219 South 6th Ave
City of Industry, CA 91746
Main Line: 626.333.3661
Fax Line: 626.333.2955

11/23/2016

DESCRIPTION

The patented Lumark Crosstour™ LED Wall Pack Series of luminaires provides an architectural style with super bright, energy efficient LEDs. The low profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment make the Crosstour impervious to the elements. The Crosstour wall luminaire is ideal for wall surface, inverted mount for landscape illumination, post-holard, site lighting, floodlight and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, stairways and loading docks test.

SPECIFICATION FEATURES

Construction
Slim, low-profile LED design with rugged one-piece, die-cast aluminum hinged removable door and back box. Matching housing styles incorporate both a small and medium design. The small housing is available in 12W, 18W and 20W. The medium housing is available in the 36W model. Patented secure lock hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes three half-inch, NPT threaded conduit entry points. The universal back box supports both the small and medium forms and mounts to standard 3-1/2" to 4" round and octagonal, 4" square, single gang and masonry junction boxes. Key hole gasket extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Minimum 5" wide pole for site lighting application. Not recommended for car wash applications.

Optical
Silicone sealed optical LED chamber incorporates a custom engineered mirrored anodized reflector providing high-efficiency illumination. Optical assembly includes impact-resistant tempered glass and meets IESNA requirements for full cutoff compliance. Available in seven lumen packages: 5000K, 4000K and 3000K CCT.

Electrical
LED driver is mounted to the die-cast housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 12W, 18W, 20W and 36W series operate in -40°C to 40°C (-40°F to 104°F). High ambient 50°C models available. Crosstour luminaires maintain greater than 80% of initial light output after 72,000 hours of operation. Three half-inch NPT threaded conduit entry points allow for three-branch wiring. Back box is an authorized

electrical wiring compartment. Integral LED electronic driver incorporates surge protection 120-277V 50/60Hz or 347V 60Hz models.

Finish
Crosstour is protected with a Super durable TIGC carbon bronze or sunburst white polyester powder coat paint. Super durable TIGC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life.

Warranty
Five-year warranty.

Lumark

Catalog #	Type
	S
Project	
Catalog No.	
Prepared by	



XTOR CROSSTOUR LED

APPLICATIONS:
WALL / SURFACE
POST / BOLLARD
LOW LEVEL
FLOODLIGHT
INVERTED
SITE LIGHTING



CERTIFICATION DATA
UL1010, Wet Location Listed
LPMV (LM80) Compliant
RDM Compliant
ADA Compliant
NEMA Compliant Models
P60 Integrated Protection Rated
Type 24 Compliant
DesignLight Consortium® Qualified*

TECHNICAL DATA
40°C Maximum Ambient Temperature
External Supply Wiring 90°C Minimum
EPA
Maximum Project Area: 150 P1
XTOR18, XTOR24, XTOR36, XTOR48
XTOR60-648

SHIPPING DATA:
Approximate Net Weight:
2.7 - 6.25 lbs (1.7 - 2.8 kg)

TDS14013EN
September 17, 2018 3:02 PM

page 3

ORDERING INFORMATION

Series *	LED Fixture Color	Housing Color	Options (Add as Suffix)	Accessories (Order Separately)
XTOR18-SmallDuo, 12W XTOR18-SmallDuo, 18W XTOR18-SmallDuo, 20W XTOR18-MediumDuo, 36W	Black/Black Light Yellow Black/Black Light Yellow Black/Black Light Yellow Black/Black Light Yellow	Black/Black Light Yellow Black/Black Light Yellow Black/Black Light Yellow Black/Black Light Yellow	PCP-Photoresistant 200 277V+1 347V-347V+1 HA-80 C High Ambient AC-Down DMX-Complete Details DMX-Photoresistant	WGL-XTOR-Wire Guard * XTOR18-ARM-Armature Floodlight Kit * XTOR18-DMX-DMX Floodlight Kit * XTOR18-DMX-WT-Wireless Floodlight Kit, Sunburst White * XTOR18-DMX-WT-Wireless Floodlight Kit, Sunburst White * EWX-XTOR-WT-Weatherproof Wall Plate, Sunburst White

- NOTES:**
1. DesignLight Consortium® Qualified and identified for both DLC Qualified and ETL Protection, refer to www.designlights.org for details.
 2. Photometric authority provided.
 3. One-PCP to 200 models.
 4. Not recommended for use outdoors with or without 30V. XTOR18 is available outdoor and 30V or 120V ambient.
 5. Wire guard for wall surface mount. Not for use with floodlight kit accessories.
 6. Floodlight kit accessory supplied with included DMX to 100m (328) ft. cable and high bay clips and small and large impact shields.

STOCK ORDERING INFORMATION

12W Series	18W Series	20W Series	36W Series
XTOR18-12W, 5000K, Carbon Bronze	XTOR18-18W, 5000K, Carbon Bronze	XTOR18-20W, 5000K, Carbon Bronze	XTOR18-36W, 5000K, Carbon Bronze
XTOR18-12W, 4000K, Carbon Bronze	XTOR18-18W, 4000K, Carbon Bronze	XTOR18-20W, 4000K, Carbon Bronze	XTOR18-36W, 4000K, Carbon Bronze
XTOR18-12W, 3000K, Carbon Bronze	XTOR18-18W, 3000K, Carbon Bronze	XTOR18-20W, 3000K, Carbon Bronze	XTOR18-36W, 3000K, Carbon Bronze
XTOR18-12W, 5000K, 120V FC, Carbon Bronze	XTOR18-18W, 5000K, 120V FC, Carbon Bronze	XTOR18-20W, 5000K, 120V FC, Carbon Bronze	XTOR18-36W, 5000K, 120V FC, Carbon Bronze
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XTOR18-12W, 4000K, Carbon Bronze	XTOR18-18W, 4000K, Carbon Bronze	XTOR18-20W, 4000K, Carbon Bronze	XTOR18-36W, 4000K, Carbon Bronze
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XTOR18-12W, 4000K, Carbon Bronze	XTOR18-18W, 4000K, Carbon Bronze	XTOR18-20W, 4000K, Carbon Bronze	XTOR18-36W, 4000K, Carbon Bronze
XTOR18-12W, 3000K, Carbon Bronze	XTOR18-18W, 3000K, Carbon Bronze	XTOR18-20W, 3000K, Carbon Bronze	XTOR18-36W, 3000K, Carbon Bronze
XTOR18-12W, 5000K, 120V FC, Carbon Bronze	XTOR18-18W, 5000K, 120V FC, Carbon Bronze	XTOR18-20W, 5000K, 120V FC, Carbon Bronze	XTOR18-36W, 5000K, 120V FC, Carbon Bronze
XTOR18-12W, 4000K, Carbon Bronze	XTOR18-18W, 4000K, Carbon Bronze	XTOR18-20W, 4000K, Carbon Bronze	XTOR18-36W, 4000K, Carbon Bronze
XTOR18-12W, 3000K, Carbon Bronze	XTOR18-18W, 3000K, Carbon Bronze	XTOR18-20W, 3000K, Carbon Bronze	XTOR18-36W, 3000K, Carbon Bronze
XTOR18-12W, 5000K, 120V FC, Carbon Bronze	XTOR18-18W, 5000K, 120V FC, Carbon Bronze	XTOR18-20W, 5000K, 120V FC, Carbon Bronze	XTOR18-36W, 5000K, 120V FC, Carbon Bronze
XTOR18-12W, 4000K, Carbon Bronze	XTOR18-18W, 4000K, Carbon Bronze	XTOR18-20W, 4000K, Carbon Bronze	XTOR18-36W, 4000K, Carbon Bronze
XTOR18-12W, 3000K, Carbon Bronze	XTOR18-18W, 3000K, Carbon Bronze	XTOR18-20W, 3000K, Carbon Bronze	XTOR18-36W, 3000K, Carbon Bronze
XTOR18-12W, 5000K, 120V FC, Carbon Bronze	XTOR18-18W, 5000K, 120V FC, Carbon Bronze	XTOR18-20W, 5000K, 120V FC, Carbon Bronze	XTOR18-36W, 5000K, 120V FC, Carbon Bronze
XTOR18-12W, 4000K, Carbon Bronze	XTOR18-18W, 4000K, Carbon Bronze	XTOR18-20W, 4000K, Carbon Bronze	XTOR18-36W, 4000K, Carbon Bronze
XTOR18-12W, 3000K, Carbon Bronze	XTOR18-18W, 3000K, Carbon Bronze	XTOR18-20W, 3000K, Carbon Bronze	XTOR18-36W, 3000K, Carbon Bronze
XTOR18-12W, 5000K, 120V FC, Carbon Bronze	XTOR18-18W, 5000K, 120V FC, Carbon Bronze	XTOR18-20W, 5000K, 120V FC, Carbon Bronze	XTOR18-36W, 5000K, 120V FC, Carbon Bronze
XTOR18-12W, 4000K, Carbon Bronze	XTOR18-18W, 4000K, Carbon Bronze	XTOR18-20W, 4000K, Carbon Bronze	XTOR18-36W, 4000K, Carbon Bronze
XTOR18-12W, 3000K, Carbon Bronze	XTOR18-18W, 3000K, Carbon Bronze	XTOR18-20W, 3000K, Carbon Bronze	XTOR18-36W, 3000K, Carbon Bronze
XTOR18-12W, 5000K, 120V FC, Carbon Bronze	XTOR18-18W, 5000K, 120V FC, Carbon Bronze	XTOR18-20W, 5000K, 120V FC, Carbon Bronze	XTOR18-36W, 5000K, 120V FC, Carbon Bronze
XTOR18-12W, 4000K, Carbon Bronze	XTOR18-18W, 4000K, Carbon Bronze	XTOR18-20W, 4000K, Carbon Bronze	XTOR18-36W, 4000K, Carbon Bronze
XTOR18-12W, 3000K, Carbon Bronze	XTOR18-18W, 3000K, Carbon Bronze	XTOR18-20W, 3000K, Carbon Bronze	XTOR18-36W, 3000K, Carbon Bronze
XTOR18-12W, 5000K, 120V FC, Carbon Bronze	XTOR18-18W, 5000K, 120V FC, Carbon Bronze	XTOR18-20W, 5000K, 120V FC, Carbon Bronze	XTOR18-36W, 5000K, 120V FC, Carbon Bronze
XTOR18-12W, 4000K, Carbon Bronze	XTOR18-18W, 4000K, Carbon Bronze	XTOR18-20W, 4000K, Carbon Bronze	XTOR18-36W, 4000K, Carbon Bronze
XTOR18-12W, 3000K, Carbon Bronze	XTOR18-18W, 3000K, Carbon Bronze	XTOR18-20W, 3000K, Carbon Bronze	XTOR18-36W, 3000K, Carbon Bronze
XTOR18-12W, 5000K, 120V FC, Carbon Bronze	XTOR18-18W, 5000K, 120V FC, Carbon Bronze	XTOR18-20W, 5000K, 120V FC, Carbon Bronze	XTOR18-36W, 5000K, 120V FC, Carbon Bronze
XTOR18-12W, 4000K, Carbon Bronze	XTOR18-18W, 4000K, Carbon Bronze	XTOR18-20W, 4000K, Carbon Bronze	XTOR18-36W, 4000K, Carbon Bronze
XTOR18-12W, 3000K, Carbon Bronze	XTOR18-18W, 3000K, Carbon Bronze	XTOR18-20W, 3000K, Carbon Bronze	XTOR18-36W, 3000K, Carbon Bronze
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XTOR18-12W, 4000K, Carbon Bronze	XTOR18-18W, 4000K, Carbon Bronze	XTOR18-20W, 4000K, Carbon Bronze	XTOR18-36W, 4000K, Carbon Bronze
XTOR18-12W, 3000K, Carbon Bronze	XTOR18-18W, 3000K, Carbon Bronze	XTOR18-20W, 3000K, Carbon Bronze	XTOR18-36W, 3000K, Carbon Bronze
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XTOR18-12W, 4000K, Carbon Bronze	XTOR18-18W, 4000K, Carbon Bronze	XTOR18-20W, 4000K, Carbon Bronze	XTOR18-36W, 4000K, Carbon Bronze
XTOR18-12W, 3000K, Carbon Bronze	XTOR18-18W, 3000K, Carbon Bronze	XTOR18-20W, 3000K, Carbon Bronze	XTOR18-36W, 3000K, Carbon Bronze
XTOR18-12W, 5000K, 120V FC, Carbon Bronze	XTOR18-18W, 5000K, 120V FC, Carbon Bronze	XTOR18-20W, 5000K, 120V FC, Carbon Bronze	XTOR18-36W, 5000K, 120V FC, Carbon Bronze
XTOR18-12W, 4000K, Carbon Bronze	XTOR18-18W, 4000K, Carbon Bronze	XTOR18-20W, 4000K, Carbon Bronze	XTOR18-36W, 4000K, Carbon Bronze
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XTOR18-12W, 3000K, Carbon Bronze	XTOR18-18W, 3000K, Carbon Bronze	XTOR18-20W, 3000K, Carbon Bronze	XTOR18-36W, 3000K, Carbon Bronze
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